

SITE DATA

PARCEL ID: R05619-001-004-000 & R05619-001-003-000

CURRENT ZONING: CB (CD)

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION

PROJECT ADDRESS: 320 & 324 GREENVILLE AVE. WILMINGTON, NC 28403

CURRENT OWNER: RHR PROPERTIES, LLC 223 GREENVILLE AVE WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: 49,160 S.F. (± 1.13 ac.)

TOTAL DISTURBED AREA: ± 0.76 ac.

EXISTING BUILDING SIZES:

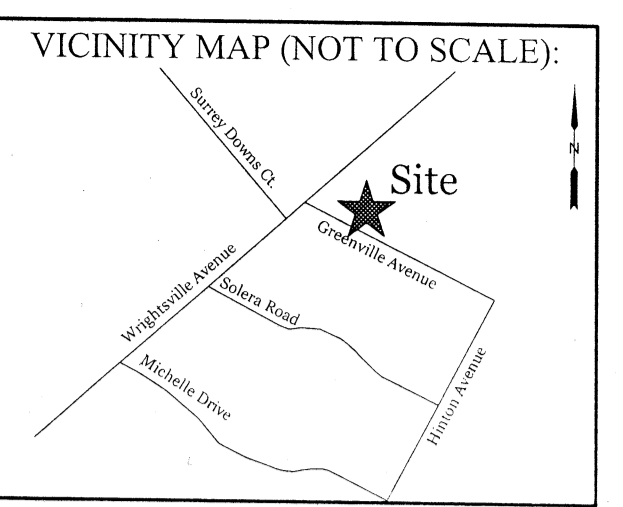
#320	1,054 S.F. GFA
#324	4,088 S.F. GFA
GARAGE	5,712 S.F. GFA
TOTAL:	10,854 S.F. GFA

EXISTING ONSITE IMPERVIOUS AREAS:

BUILDINGS	11,065 S.F.
CONCRETE	2,990 S.F.
GRAVEL	17,165 S.F.
TOTAL:	31,220 (63.5%)

EXISTING ONSITE IMPERVIOUS AREAS TO BE REMOVED:

CONCRETE	1,244 S.F.
GRAVEL	17,165 S.F.
TOTAL:	18,409 S.F.



REVISIONS

9-5-17	REVISED PARKING AREA

INTRACOASTAL ENGINEERING, PLLC

5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: charlie@intracoastalengineering.com
License Number: P-0662

EXISTING CONDITIONS & TREE PROTECTION PLAN

FOR

ROBERT HIGH OFFICES

CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

Charles D. Cazier
8/14/18

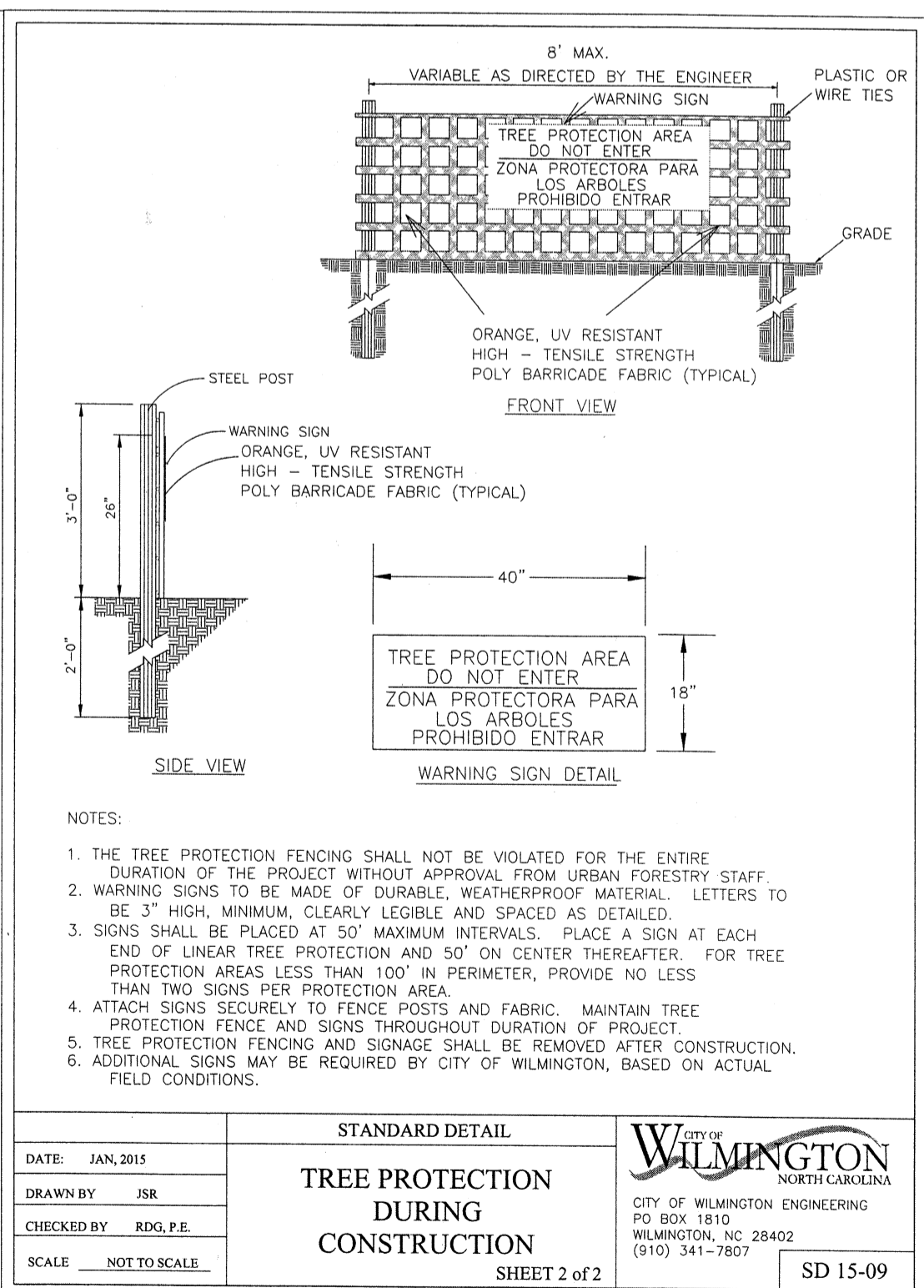
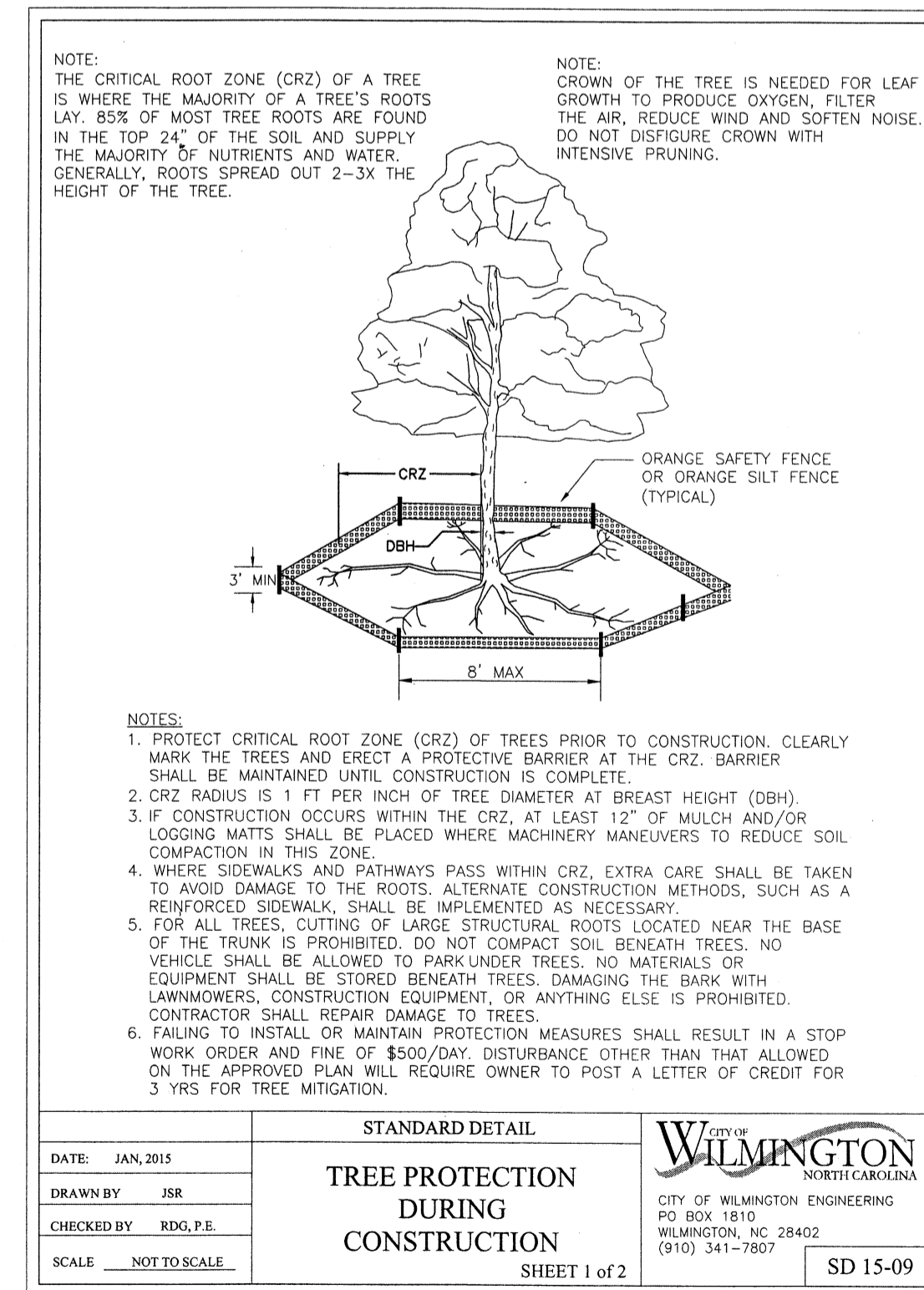
CLIENT INFORMATION:

RHR PROPERTIES, LLC
Robert High
223 Greenville Ave.
Wilmington, NC 28403
Phone: 910-790-9490
Email: rhp@roberthighproperties.com

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	8/14/2018
APPROVED:	CDC	SCALE:	1" = 30'
PROJECT NUMBER:	2018-012		

DRAWING NUMBER: **C-0**

1 OF 4



Approved Construction Plan

Name: unc 10/3/2018 Date: 10/3/2018

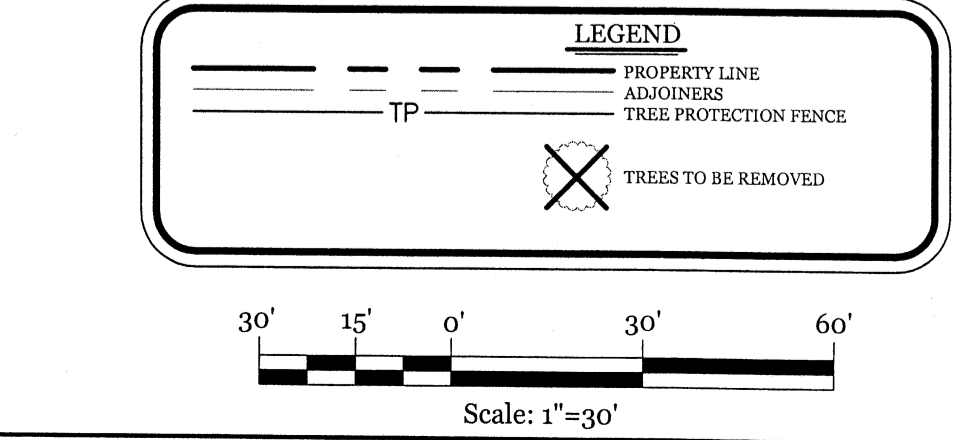
Planning: [Signature] 10/2/18

Public Utilities: [Signature] 10/2/18

Traffic: [Signature] 10/2/18

Fire: [Signature] 10/2/18

City of Wilmington
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 10/3/2018 Permit #: 2018034R1
Signed: [Signature] for RAC



SITE & SURVEY NOTES:

- THIS LOT IS NOT LOCATED IN AN AREA OF 100 YEAR FLOOD.
- EXISTING SURVEYING PERFORMED BY MICHAEL UNDERWOOD, NC PLS# L-2962
- NO REGULATED TREES EXIST ON SITE.

SITE & SURVEY NOTES:
 1. THIS LOT IS NOT LOCATED IN AN AREA OF 100 YEAR FLOOD.
 2. EXISTING SURVEYING PERFORMED BY MICHAEL UNDERWOOD, NC PLS# L-2962
 3. NO REGULATED TREES EXIST ON SITE.

DEVELOPMENT NOTES:
 1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
 2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.

UTILITY NOTES:
 1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
 2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE, SHALL BE INSTALLED UNDERGROUND.
 3. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFWPA TECHNICAL SPECIFICATIONS & STANDARDS.
 4. PROJECT SHALL COMPLY WITH CFWPA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3940 FOR INFORMATION.
 5. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFWPA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USPCOCHR OR ASSE.
 6. IF CONTRACTOR DESIRES CFWPA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 7. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-692-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
 8. THE BELLSOUTH CONTRACT IS STEVE DAVIAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
 9. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE. AT APPROXIMATELY 2' DEEP.
 10. SOLID WASTE DISPOSAL BY ROLL-OUT CARTS FOR CURBSIDE PICKUP.

GENERAL TRAFFIC NOTES:
 1. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS OFF THE R/W TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 2. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 & SD 11-3 COFW TECH STDS]
 3. ALL SIGNS AND PAVEMENT MARKINGS OFF RIGHT OF WAY ARE TO MEET/BE MAINTAINED TO MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 & SD 11-3 COFW TECH STDS]
 4. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 6. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. [SD 15-14 COFW TECH STDS]
 7. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 8. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.
 9. SMALL/COMPACT VEHICLE PARKING SPACES SHALL BE DESIGNATED BY PROPER SIGNAGE ALERTING DRIVERS TO THE LIMITATION OF SPACE SIZE. [SEC. 18-529(C)(4)(B) COFW LDC]

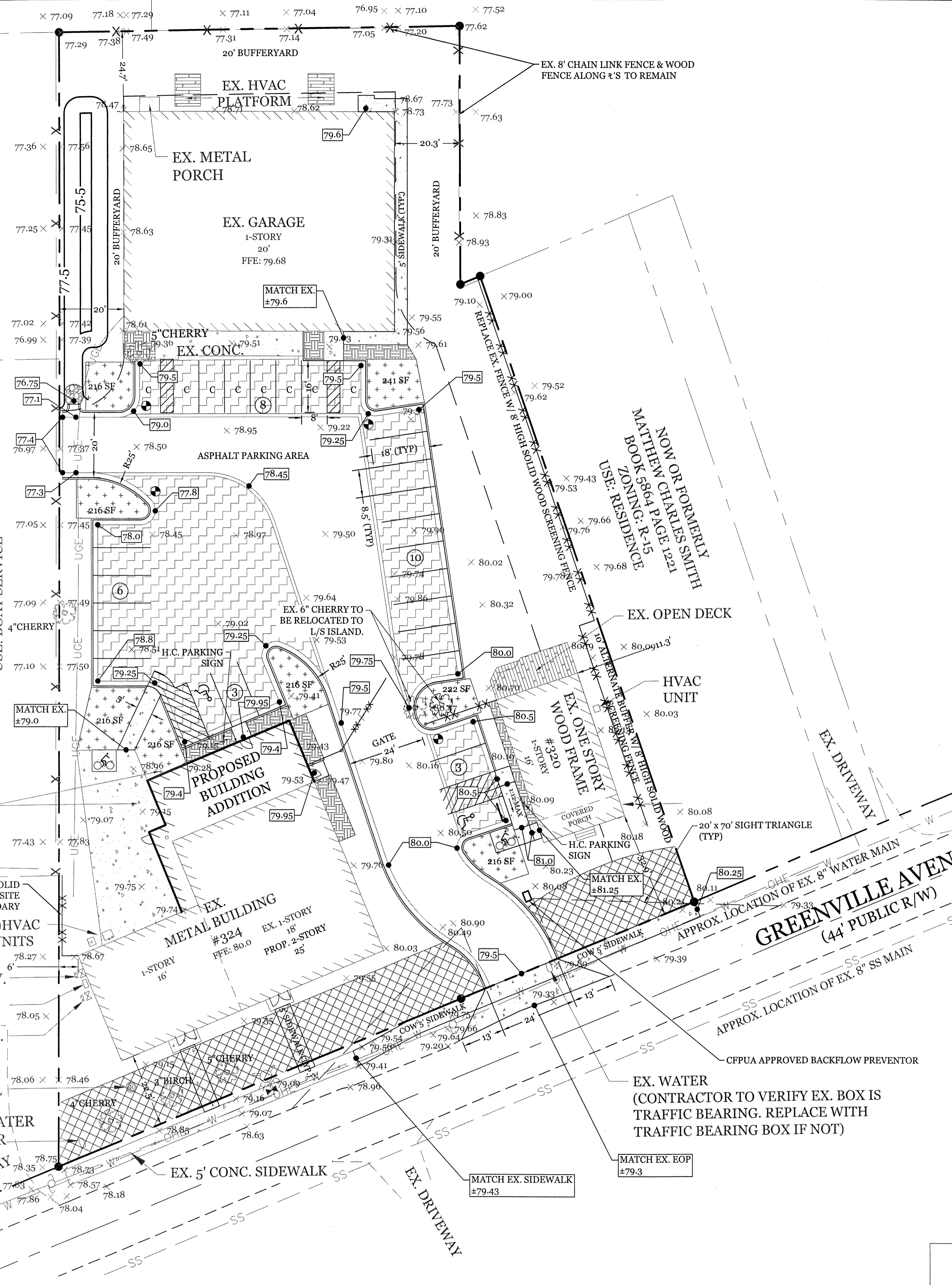
FIRE & SAFETY NOTES:
 1. CONSTRUCTION TYPE V-B (COMMERCIAL)
 2. BUILDINGS WILL NOT BE SPRINKLED
 3. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
 4. ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
 5. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
 6. PROPOSED DRIVEWAY GATE TO BE SIREN ACTIVATED.
 7. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

CD-15-206-M318 CONDITIONS:
 1. The use and development of the subject property shall comply with all regulations and requirements imposed by the Land Development Code, the City of Wilmington Technical Standards and Specifications Manual and any other applicable federal, state or local law, ordinance or regulation, as well as any condition stated below. In the event of a conflict, the more stringent requirement or higher standard shall apply.
 2. Approval of this conditional rezoning does not constitute technical approval of the site plan. Final approval by the Technical Review Committee and the issuance of all required permits must occur prior to release of the project for construction.
 3. If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the site plan for the district shall be null and void and of no effect and proceedings shall be instituted to rezone the property to its previous zoning classification.
 4. Outdoor storage or display of merchandise, materials, or supplies is prohibited.
 5. All landscaping and buffers shall be installed in accordance with Land Development Code.
 6. A reduced buffer is allowable on the southeast property boundary given the site constraints. This shall be no less than 10 feet with a solid wooden fence. This reduced portion of the buffer shall only be continued as long as the existing structure and increase to 20 feet in width from the covered porch to Greenville Avenue to maintain neighborhood consistency.
 7. The use and development of the subject property shall be in accordance with the site plan and elevations as submitted (dated received, elevations dated February 13, 2018 and site plan February 14, 2018).
 8. The proposed uses shall be limited to a professional office with warehousing and associated parking and landscaping.
 9. A vehicular connection shall be provided to the adjacent commercial property to the northwest as detailed on the site plan (dated received, February 14, 2018).
 10. Strict adherence to the design standards will be confirmed as part of the technical review.
 11. Exterior lighting shall be installed so as not to shine directly onto adjacent residential parcels.
 12. Any freestanding sign(s) on the site shall be a maximum of 6 feet in height, monument style with landscaping around the base of the sign; no pole signs shall be permitted.
 13. The creative standard shall not be used to satisfy the street yard landscaping requirements.
 14. All City, State and Federal regulations shall be met.

NOW OR FORMERLY
 FLOYD INVESTMENTS, L.L.C.
 BOOK 4925 PAGE 34
 ZONING: R-15
 USE: RESIDENCE

NOW OR FORMERLY
 FLOYD INVESTMENTS, L.L.C.
 BOOK 4924 PAGE 558
 ZONE: CB
 USE: BOAT SERVICE

NOW OR FORMERLY
 AYOUB PROPERTIES, LLC
 BOOK 5967 PAGE 1922
 ZONING: CB
 USE: CONVENIENCE STORE



SITE DATA

PARCEL ID:	R05619-001-004-000 & R05619-001-003-000
CURRENT ZONING:	CB (CD)
CAMA LAND USE CLASSIFICATION:	WATERSHED RESOURCE PROTECTION
PROJECT ADDRESS:	320 & 324 GREENVILLE AVE. WILMINGTON, NC 28403
CURRENT OWNER:	RHJR PROPERTIES, LLC 223 GREENVILLE AVE WILMINGTON, NC 28403
TOTAL ACREAGE IN PROJECT BOUNDARY:	49,160 S.F. (± 1.13 ac.)
PROPOSED BUILDING SIZES:	#320: 1,054 S.F. GFA #324: 6,400 S.F. GFA (5,200 1st Floor / 1,200 2nd Floor) GARAGE: 5,712 S.F. GFA TOTAL: 13,166 S.F. GFA
BUILDING USES:	OFFICE: 7,342 SF GFA WAREHOUSE: 5,824 SF GFA
BUILDING HEIGHT:	25' MAX * *SEE PLAN FOR INDIVIDUAL BLD. HEIGHTS*

BUILDING SETBACKS:

FRONT:	REQUIRED= 20'	EXISTING= SEE PLAN
SIDE:	REQUIRED= 0'/20' TO RES.	EXISTING= SEE PLAN
REAR:	REQUIRED= 10'/25' TO RES.	EXISTING= SEE PLAN

(NO CHANGES TO SETBACKS ARE PROPOSED)

CALCULATION FOR BUILDING COVERAGE:

PROPOSED COVERAGE:	12,190 S.F. / 49,160 S.F. = 24.8%
PROPOSED IMPERVIOUS AREAS:	BUILDINGS: 1,125 S.F. ASPHALT PARKING AREA: 7,313 S.F. CONCRETE SIDEWALK: 988 S.F. TOTAL: 9,426 S.F.
TOTAL ONSITE IMPERVIOUS AREAS:	EX. IMPERVIOUS TO REMAIN: 12,811 S.F. PROPOSED IMPERVIOUS AREA: 9,426 S.F. TOTAL: 22,237 S.F. (45.2%)
PROPOSED ONSITE PERVIOUS AREAS:	PERVIOUS CONCRETE: 6,870 S.F. (100% CREDIT)
PROPOSED OFFSITE IMPERVIOUS AREAS:	CONCRETE SIDEWALK: 430 S.F. CONCRETE DRIVE APRON: 396 S.F. TOTAL: 826 S.F.

PARKING REQUIRED:

PROFESSIONAL OFFICE:	MIN: 1 SPACE/ 300 S.F. = 24 SPACES MAX: 1 SPACE/ 200 S.F. = 37 SPACES
WAREHOUSING:	MIN: 1 SPACE/ 1,000 S.F. = 6 SPACES MAX: N/A

PARKING PROVIDED:

30 SPACES (2 H.C.) *(8 Compact Spaces = 25%)*
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BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)

REQUIRED: 10 SPACES PROVIDED: 10 SPACES
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FOUNDATION PLANTINGS:

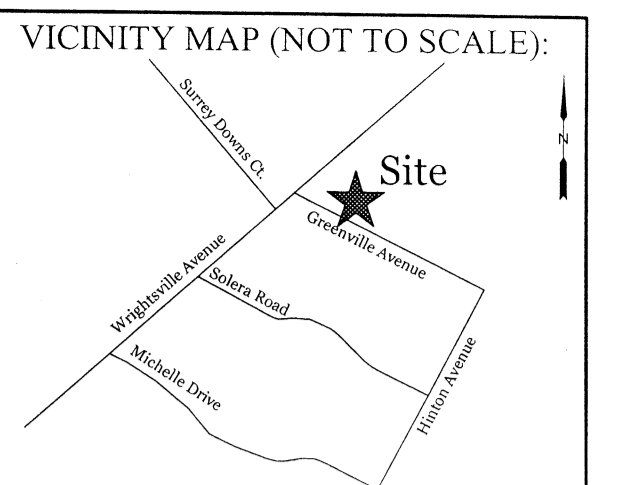
REAR WAREHOUSE: 84 LF X 18' FACADE X 12%	REQUIRED: 181 S.F. PROVIDED: 228 S.F.
MAIN OFFICE: 124 LF X 22' FACADE X 12%	REQUIRED: 327 S.F. PROVIDED: 334 S.F.
SMALL OFFICE: 39 LF X 12' FACADE X 12%	REQUIRED: 56 S.F. PROVIDED: 99 S.F.

STREET YARD REQUIREMENT: (9' MIN & 27' MAX WIDTH)

REQUIRED: 214.11' FRONTAGE - 25' DRIVE (BOC TO BOC) = 189.11 LF X 18' = 3,404 S.F. PROVIDED: 3,437 S.F.
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EXISTING SEWER AND WATER DEMAND: 500 GPD

PROPOSED SEWER AND WATER DEMAND: @ 25 GAL/PERSON = 750 GPD



REVISIONS

9-5-17	REVISED PARKING AREA.
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INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: 910.859.8983
 Email: charlie@intracoastalengineering.com
 License Number: P-10602

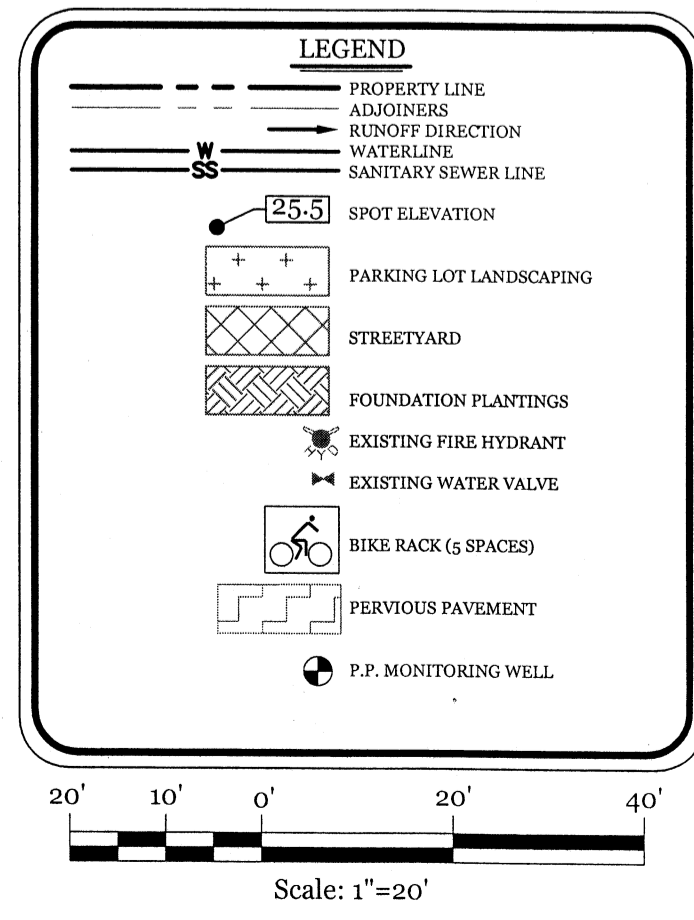
SITE, GRADING, DRAINAGE, & UTILITIES PLAN
 FOR
ROBERT HIGH OFFICES
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

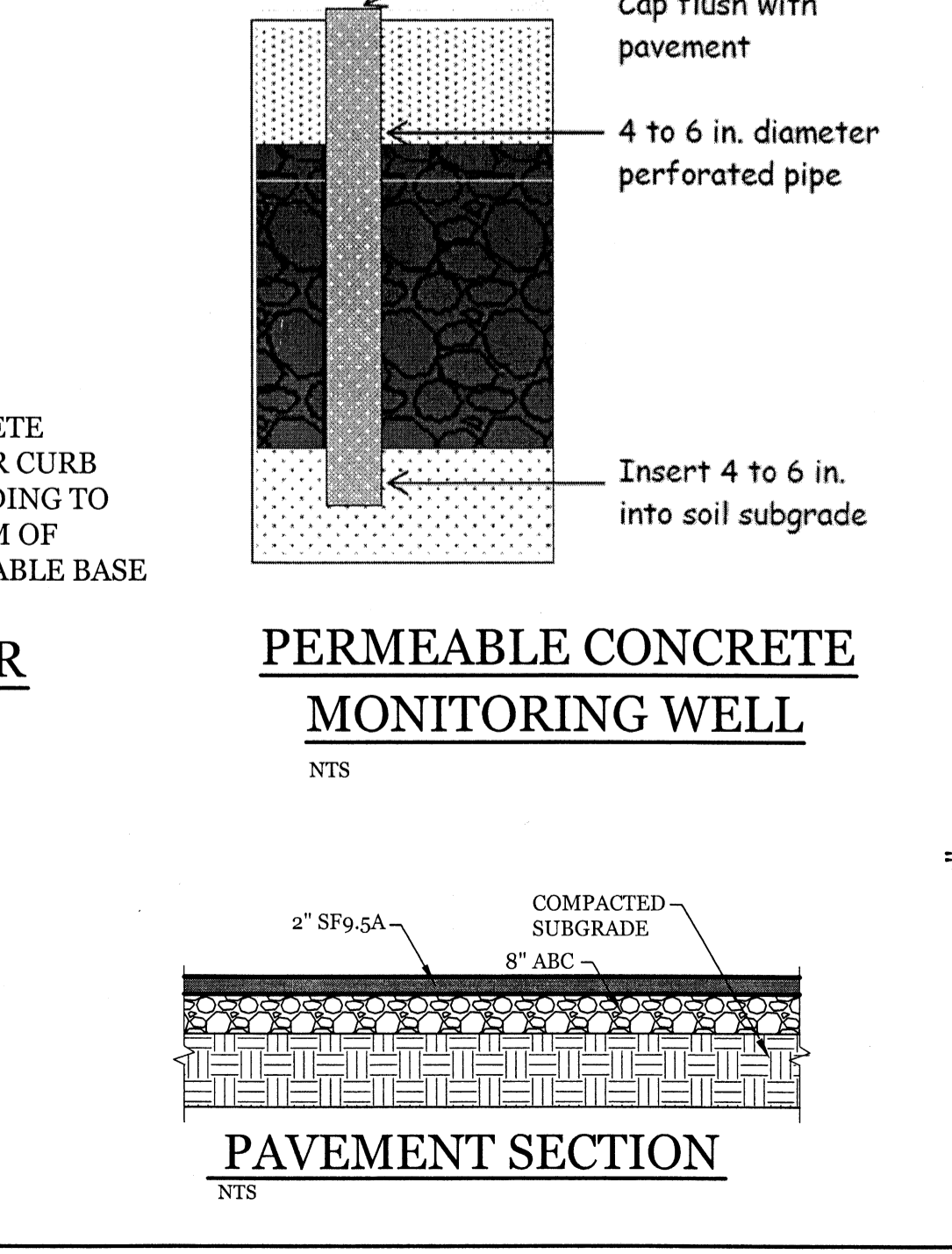
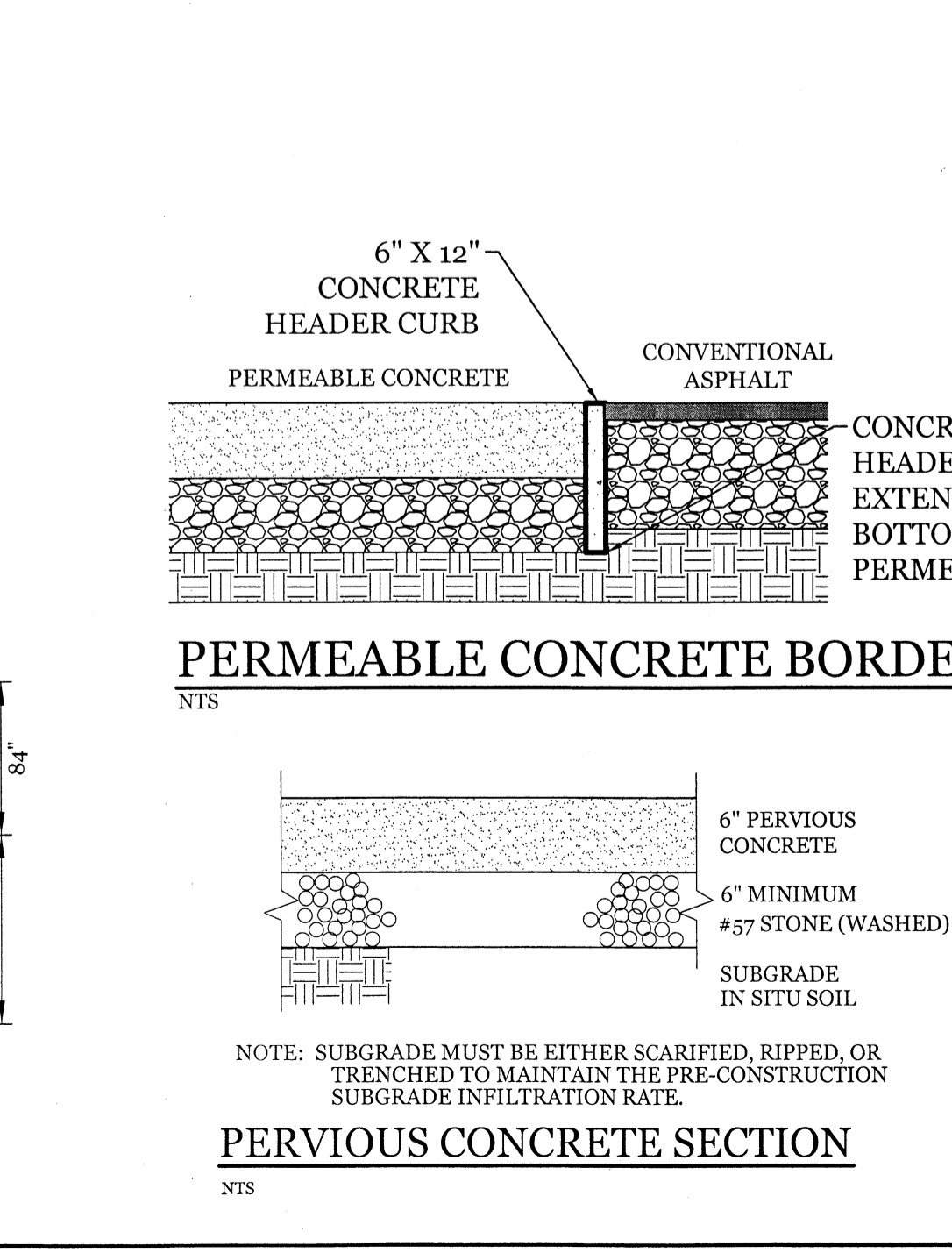
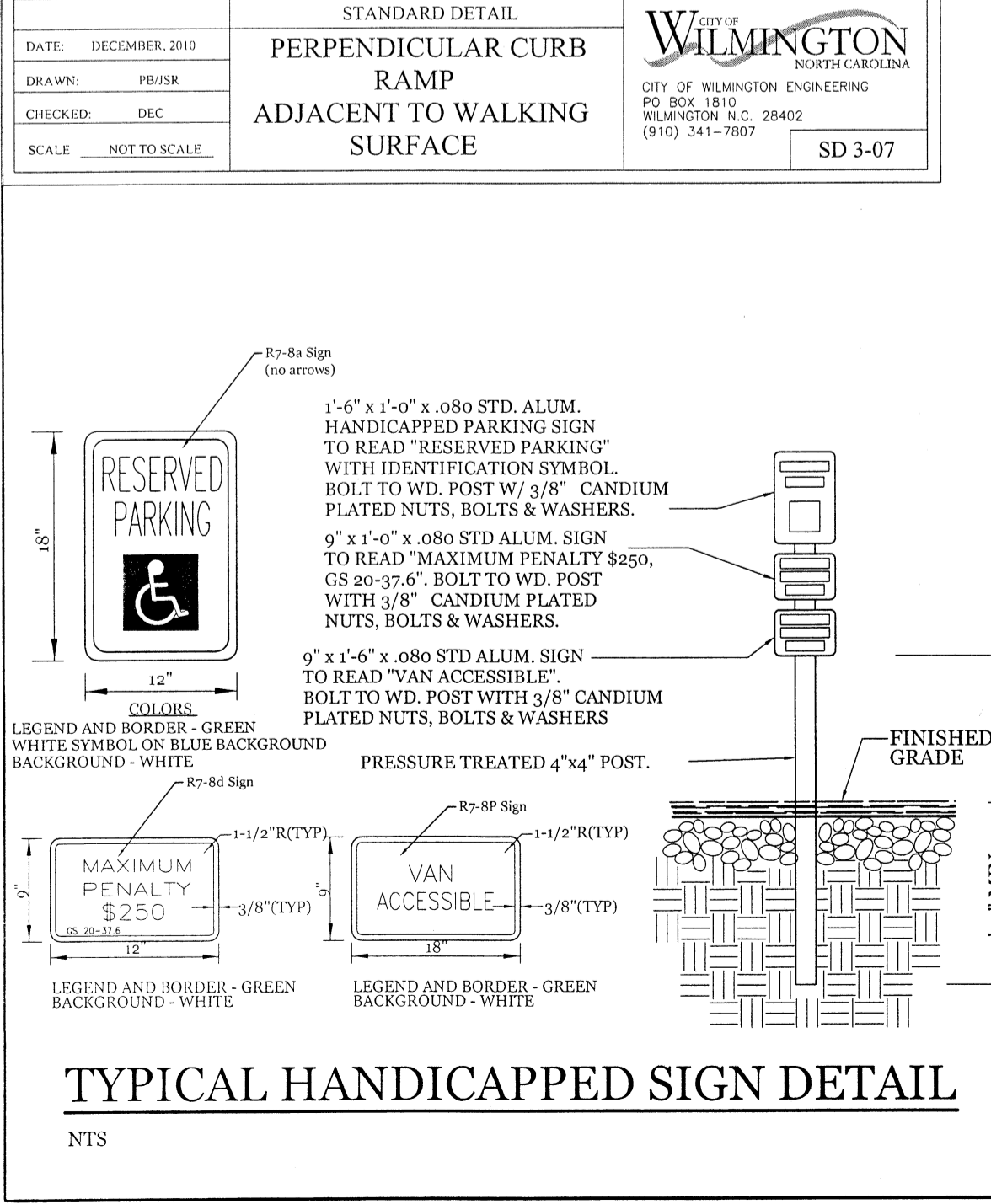
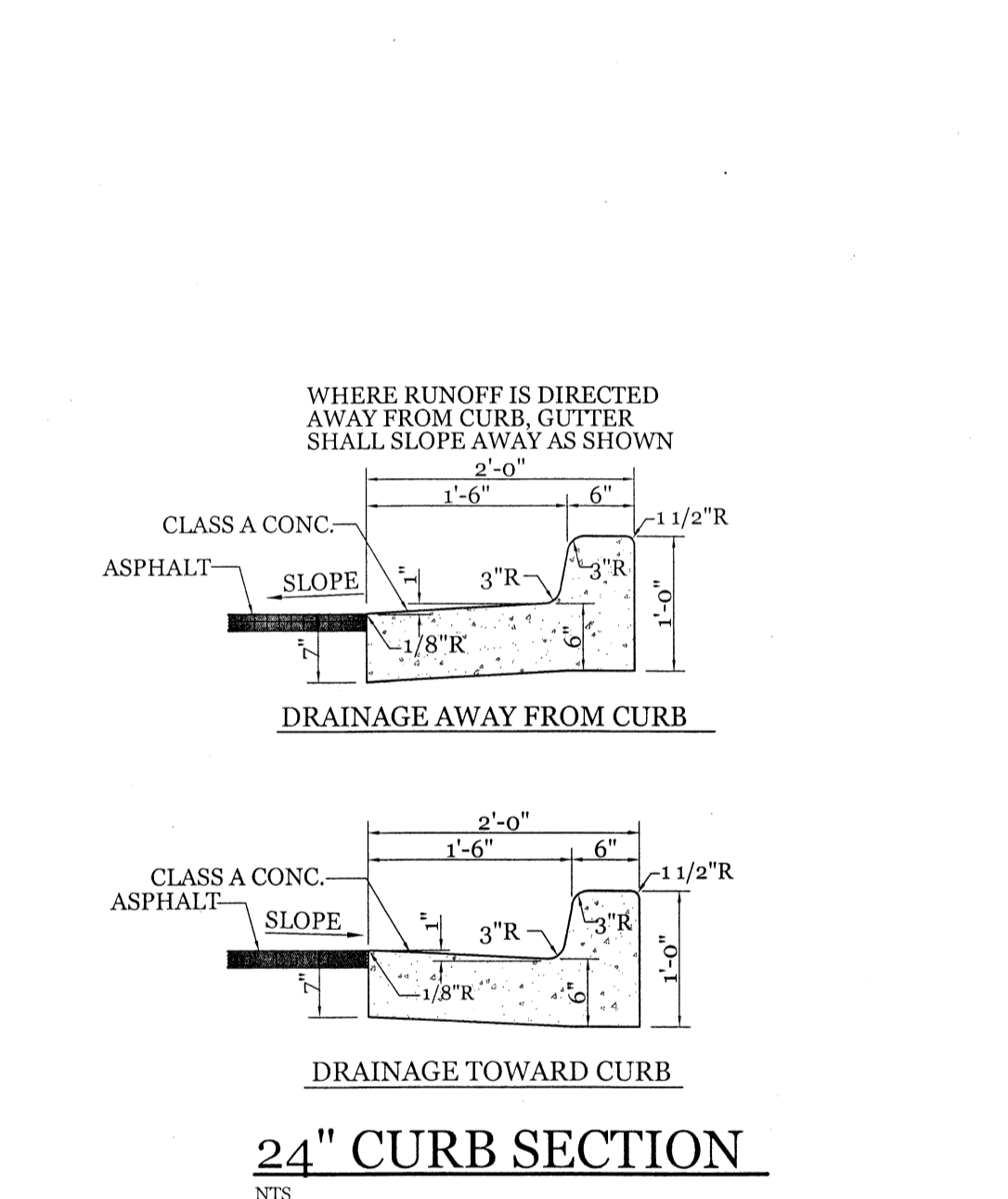
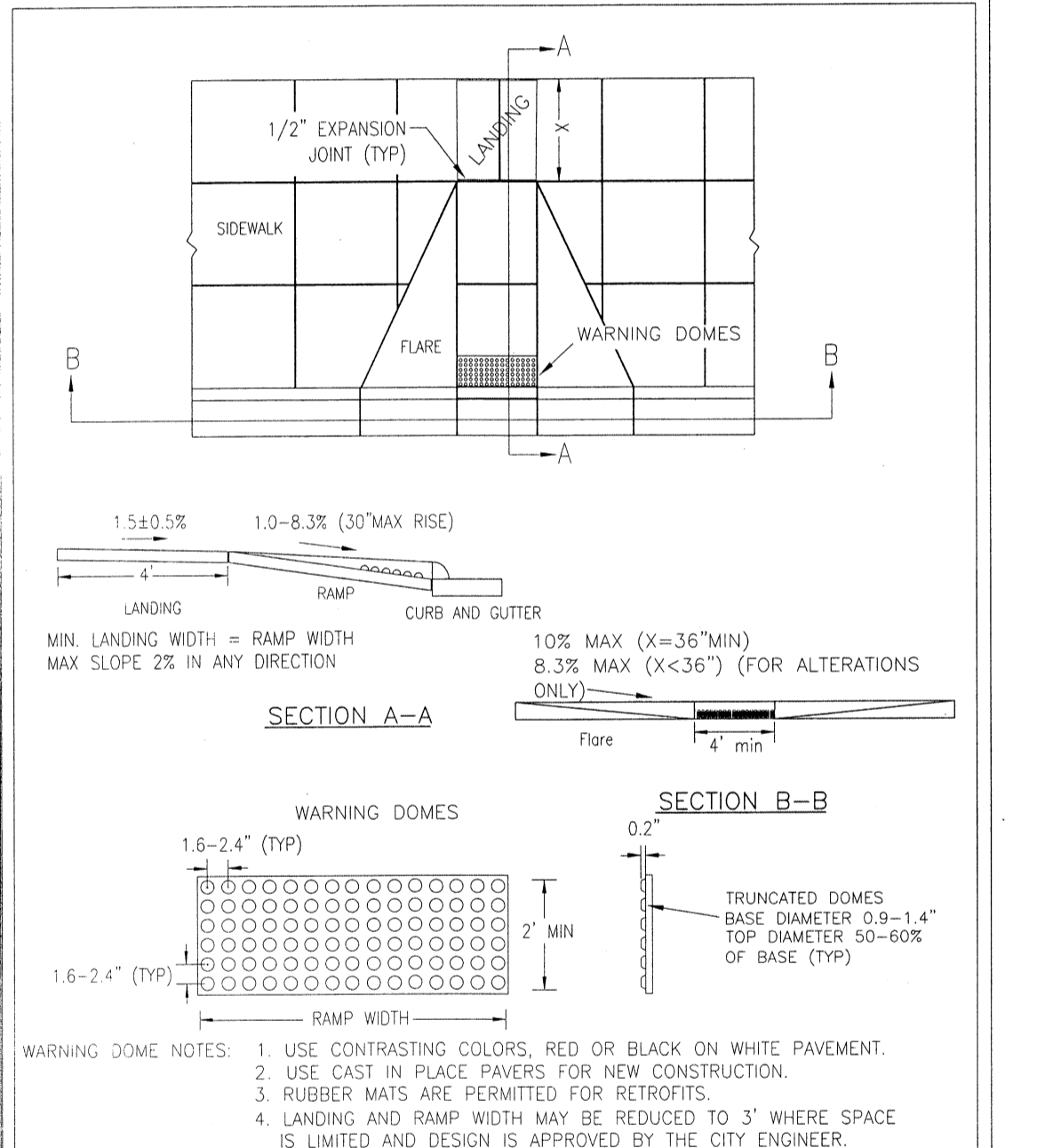
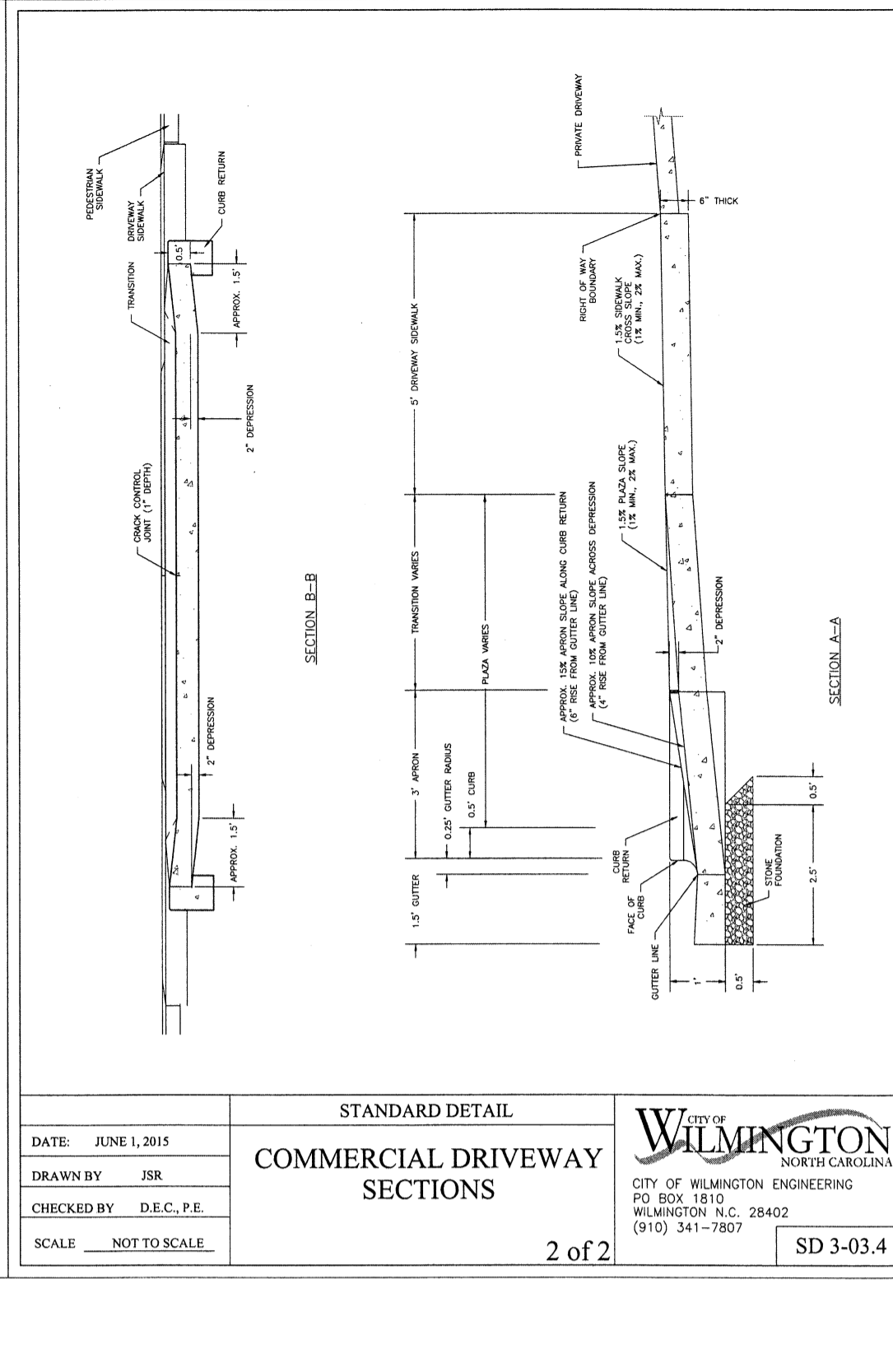
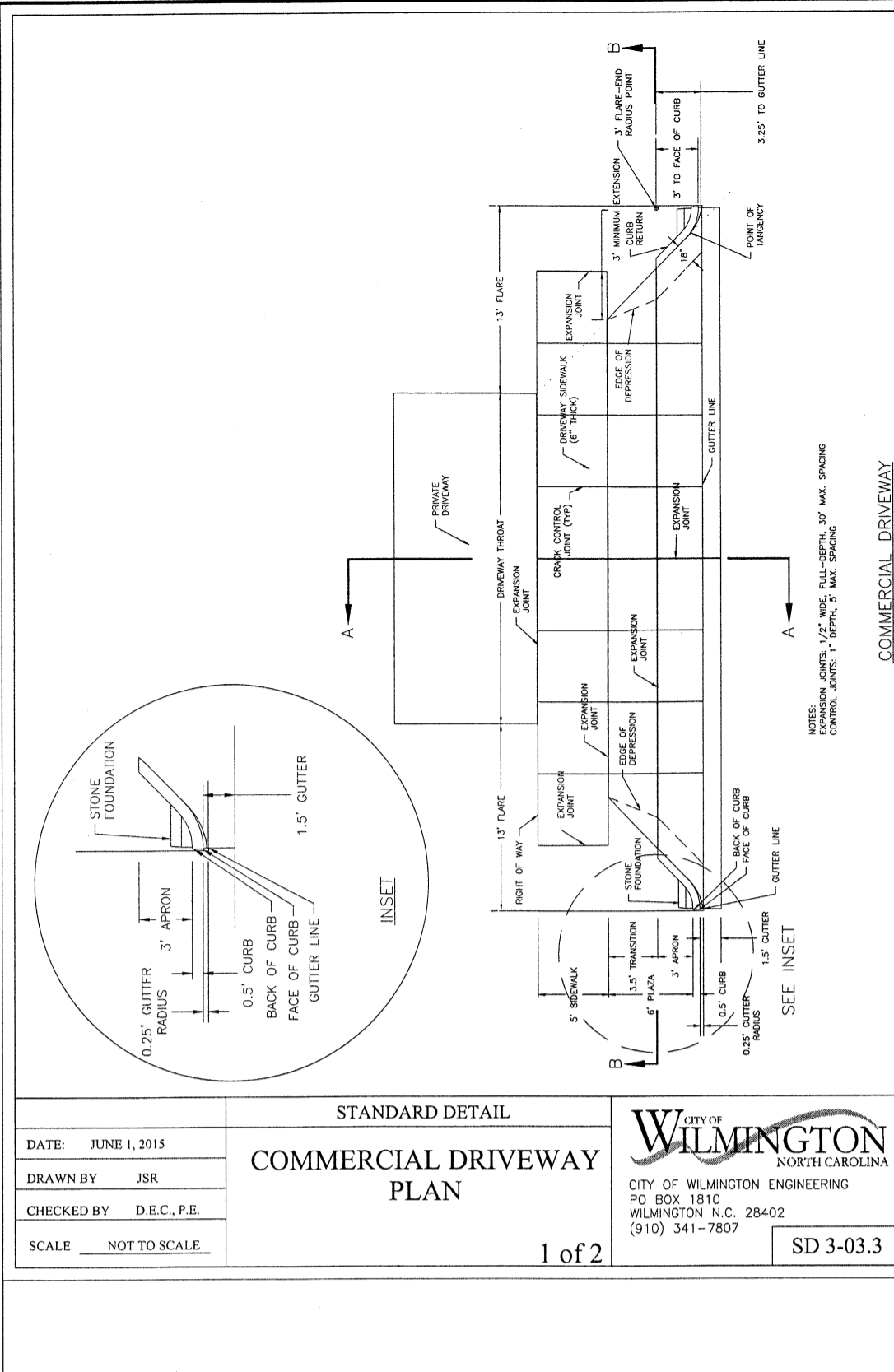
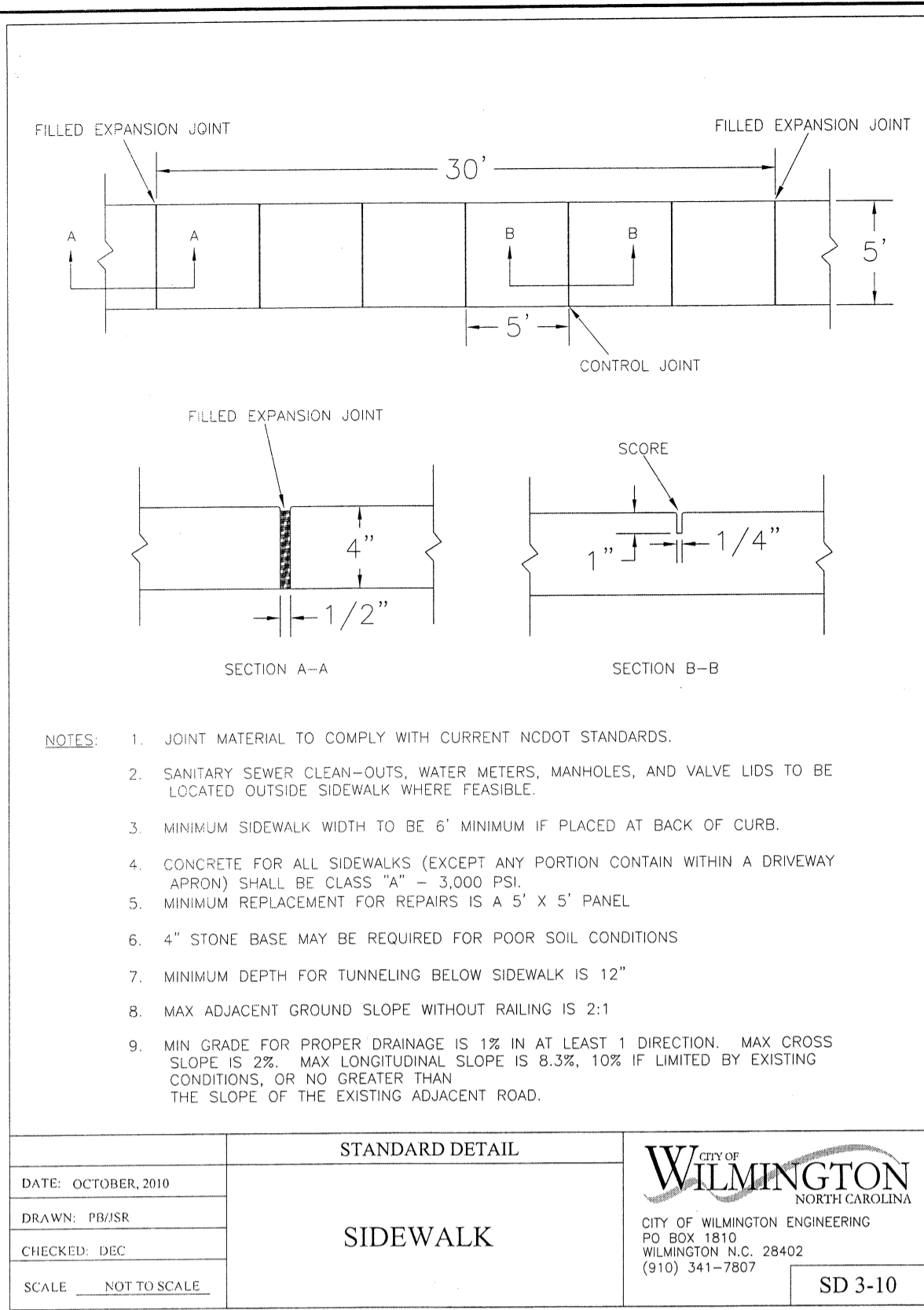
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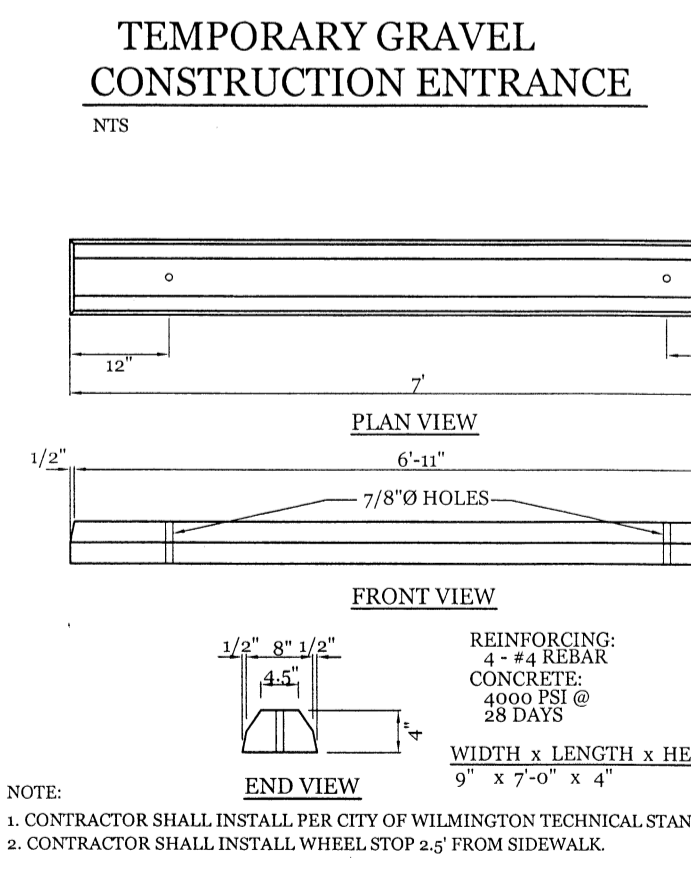
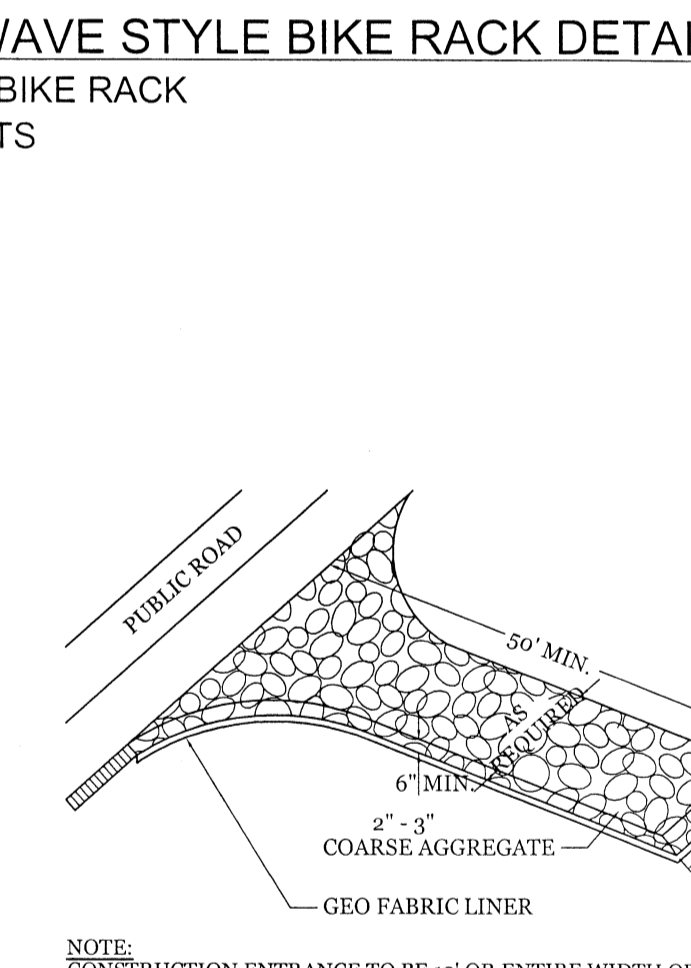
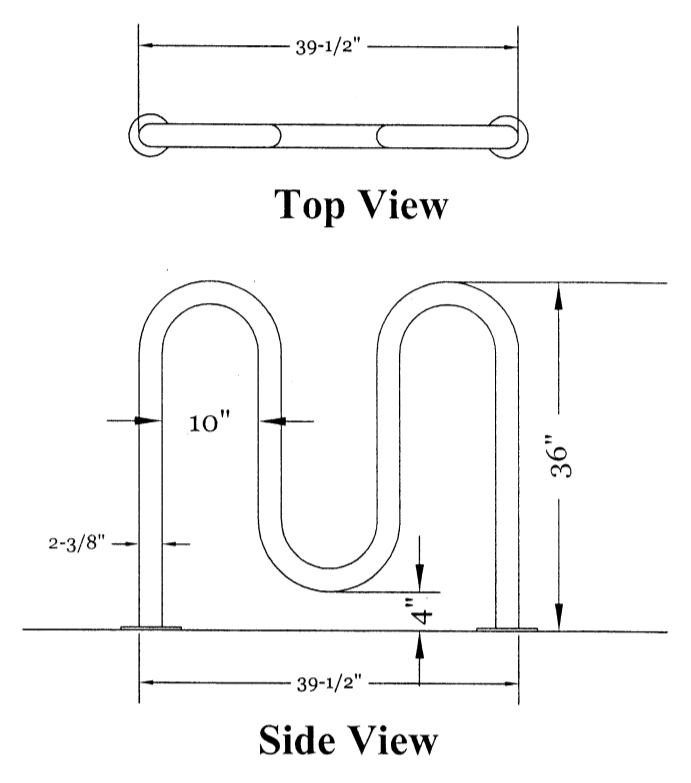
DRAWING NUMBER: **C-1**
 2 OF 4

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: 10/3/2018 Permit # 2018034 R1
 Signed: *Just Butts* for RAC
Approved Construction Plan
 Name: Ymc Date: 10/3/2018
 Planning: Ymc 10/3/2018
 Public Utilities: *W. G. G. 10/2-18*
 Traffic: *W. G. G. 10/2-18*
 Fire: *W. G. G. 10/2-18*





- SITE WORK NOTES:**
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
 2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
 3. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
 4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
 5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
 6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
 7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
 8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
 9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
 11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
 13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 14. EXISTING SURVEYING PERFORMED BY MICHAEL UNDERWOOD, NC PL# 1-29662
 15. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
 16. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
 17. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CFPWA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
 18. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
 19. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
 20. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
 21. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
 22. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



Approved Construction Plan

Name: CMC 8-15-2018 Date: 8-15-18

Public Utilities: 8-15-18

Traffic: 8-15-18

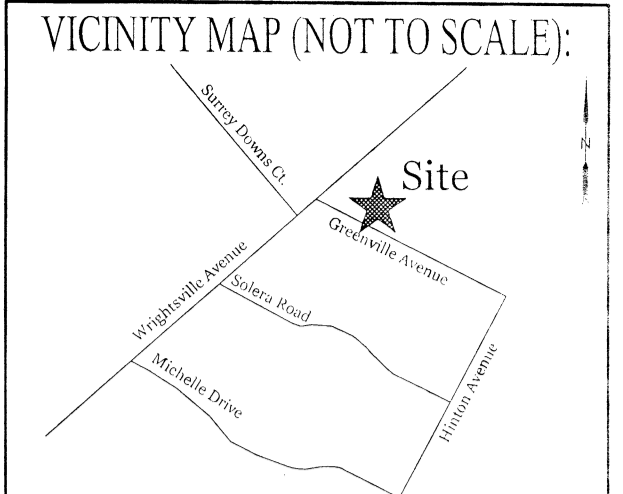
Fire: 8-16-18

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: 8/15/18 Permit #: 2018034

Signed: [Signature]



REVISIONS

NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC

5725 Olander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

DETAILS FOR ROBERT HIGH OFFICES

CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

Professional Seal

NORTH CAROLINA PROFESSIONAL SEAL
032555
CHARLES D. CATER
ENGINEER

Charles D. Cater
8/19/18

CLIENT INFORMATION:

RHR PROPERTIES, LLC
Robert High
223 Greenville Ave.
Wilmington, NC 28403
Phone: 910-790-9490
Email: rhp@roberthighproperties.com

DRAWN: JAE SHEET SIZE: 24X36
CHECKED: CDC DATE: 8/14/2018
APPROVED: CDC SCALE: NTS
PROJECT NUMBER: 2018-012

DRAWING NUMBER: **C-2**

3 OF 4

ZONING: R-15
USE: RESIDENCE

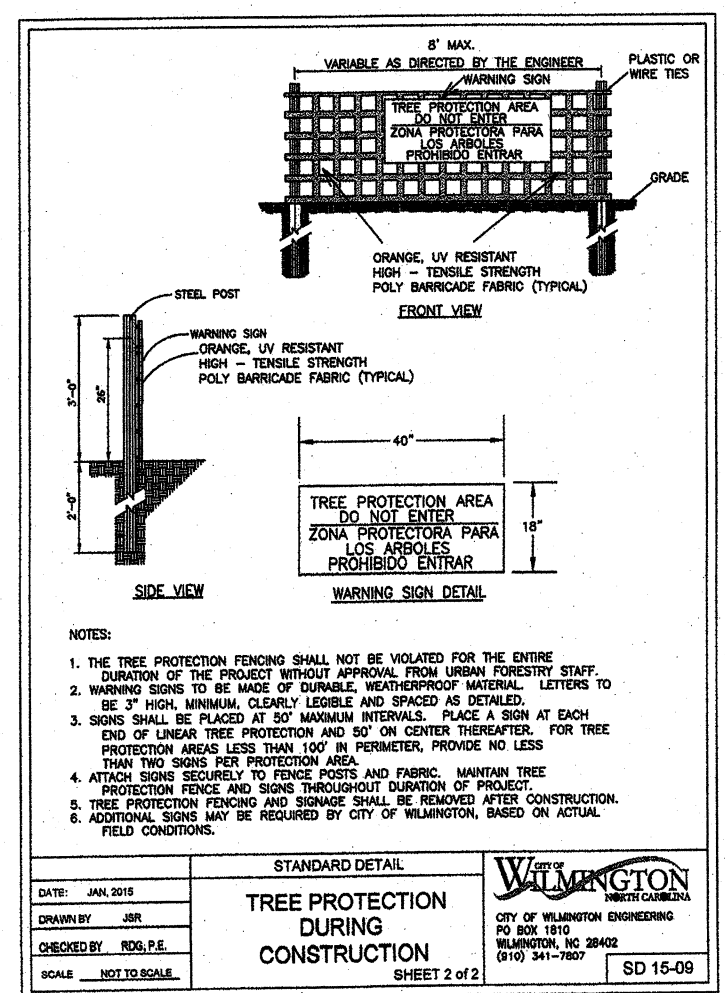
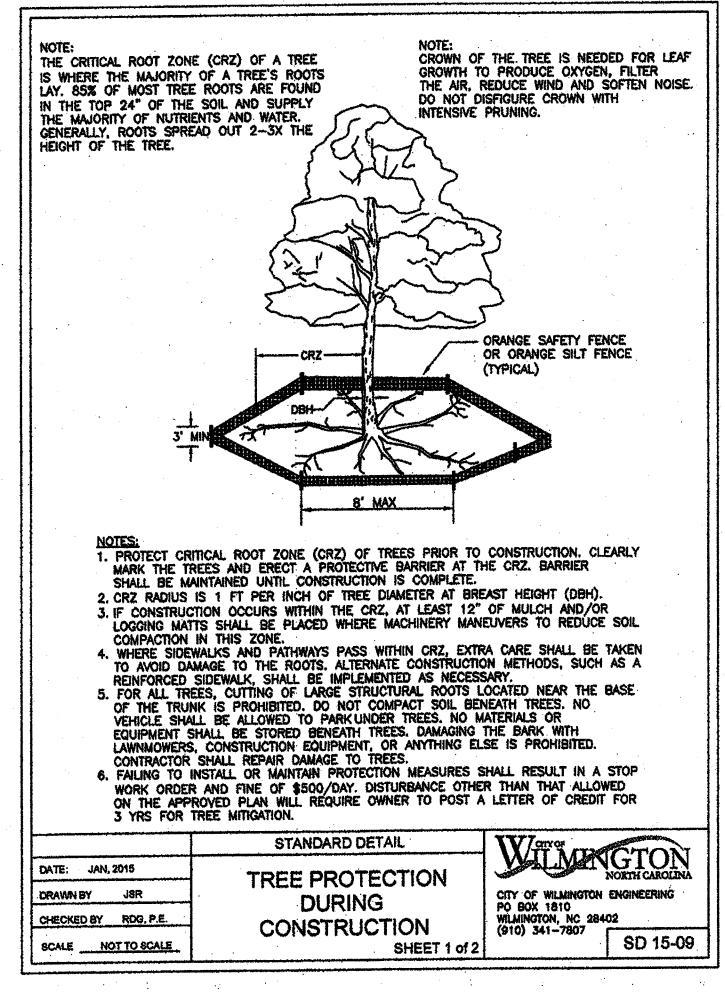
ZONING: R-15
USE: RESIDENCE

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 PARCEL ID: R05619-001-004-000 & R05619-001-003-000
 CURRENT ZONING: CB (CD)
 CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION
 PROJECT ADDRESS: 320 & 324 GREENVILLE AVE. WILMINGTON, NC 28403
 CURRENT OWNER: RHR PROPERTIES, LLC 223 GREENVILLE AVE. WILMINGTON, NC 28403
 TOTAL ACREAGE IN PROJECT BOUNDARY: 49.160 S.F. (± 1.13 AC.)
FOUNDATION PLANTINGS:
 REAR WAREHOUSE: 84 LF X 18' FACADE X 12% REQUIRED: 181 S.F. PROVIDED: 228 S.F.
 MAIN OFFICE: 124 LF X 22' FACADE X 12% REQUIRED: 327 S.F. PROVIDED: 334 S.F.
 SMALL OFFICE: 39 LF X 12' FACADE X 12% REQUIRED: 56 S.F. PROVIDED: 99 S.F.
STREET YARD REQUIREMENTS: 9' MIN & 27' MAX WIDTH REQUIRED: 214'11" FRONTAGE - 25' DRIVE (BOC TO BOC) = 3,404 S.F. PROVIDED: 3,437 S.F.
 IMPERVIOUS WALKS = 210 S.F. ALLOWED 516 S.F. PROVIDED

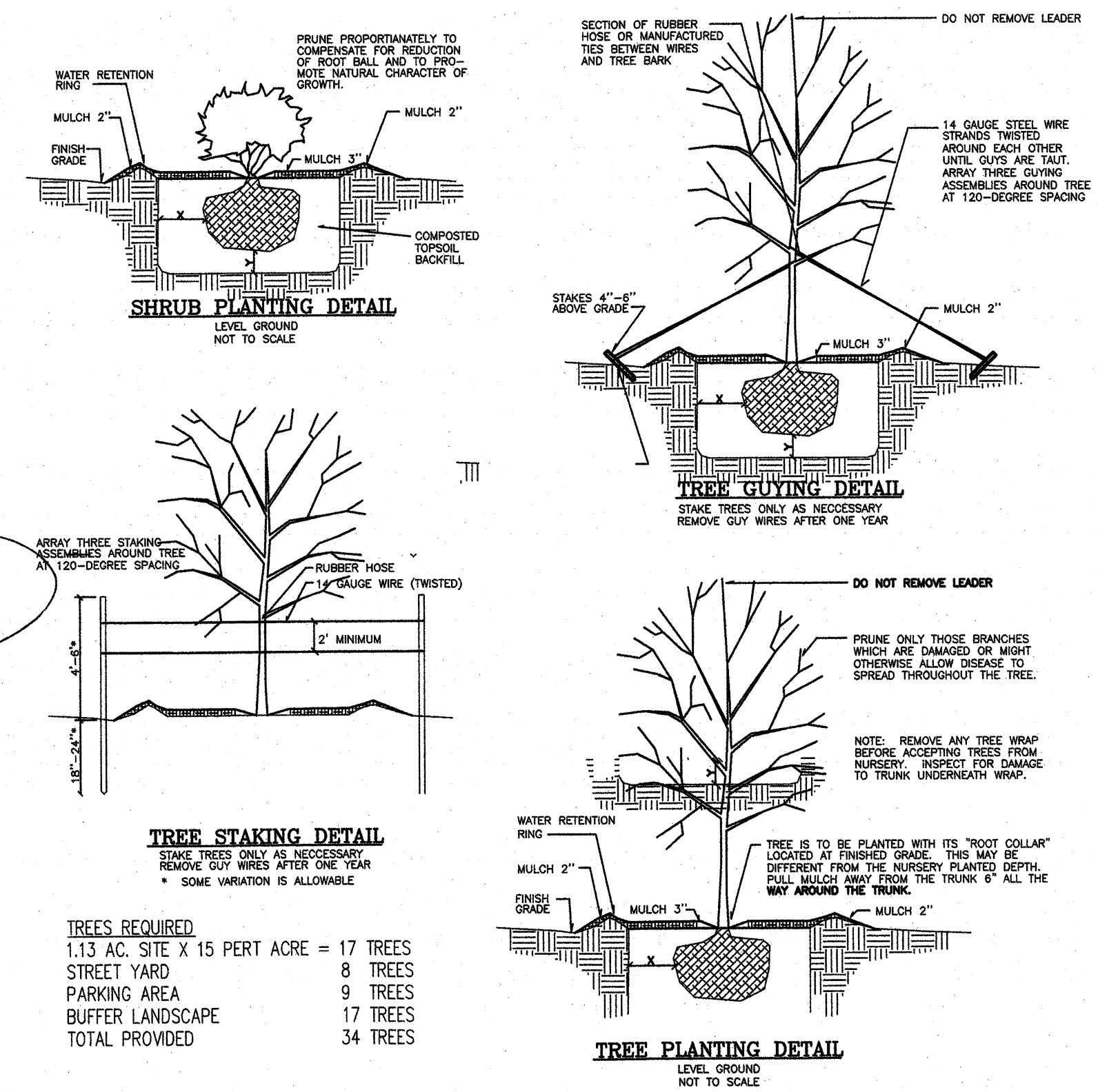
PLANT LIST									
KEY NO.	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CAL.	HT.	REMARKS			
UNDERSTORY TREES / CANOPY TREES									
1	4	QUERCUS PHELLOS	WILLOW OAK	WB 3 1/2"					
2	7	ZOLOVIA SERRATA	JAPANESE ZELKOVA	WB 3 1/2"		VILLAGE GREEN			
UNDERSTORY TREES									
3	4	ACER PALMATUM	JAPANESE MAPLE	15 GAL.	15' - 20'	BLOODWOOD			
4	4	LAGERSTROMIA INDICA	CRAPPE MYRTLE		10'-12'	MUSKOGEE			
GROUND COVER/VINES									
5	70	LIRIOPE MUSCARI	LILY TURF	1 GAL.		0' O.C. SUPER BLUE O.C. VASCULATA			
6	60	LIRIOPE MUSCARI	LILY TURF	1 GAL.					
7	107	JUNIPERUS EXPANSA	PARSONS JUNIPER	3 GAL.		5' O.C.			
8	4	ROSA BANSAE	BANKS ROSE	2 GAL.		VAR. LUTEA ESPALIER TO FENCE			
SMALL SHRUBS									
9	65	ILEX VOMITORIA NANA	DWARF YALPON	3 GAL.		4' O.C.			
10	4	NANDINA DOMESTICA	NANDINA FREPOWER	3 GAL.		3' O.C.			
11	11	HYDRANGEA MACROPHYLLA	BIG LEAF HYDRANGEA	3 GAL.		5' O.C. BLUE WAVE			
12	11	AZALEA INDICA	INDIAN AZALEA	7 GAL.		3' O.C. PLANTING SLOLCON			
13	29	AZALEA INDICA	INDIAN AZALEA	7 GAL.		6' O.C. FORMOSA			
14	108	MULLENBERGIA CAPILLARIS	PINK MULHY GRASS	3 GAL.		2' O.C.			
15	6	PENNETUM ALPEPURIORDES	DWARF FOUNTAIN GRASS	3 GAL.		3' O.C.			
16	9	ABELIA GRANDIFLORA	GLOSSY ABELIA	3 GAL.		3' O.C. LITTLE RICHARD			
LARGER SHRUBS									
17	12	ILEX NELLIE R STEVENS	NELLIE STEVENS HOLLY	15 GAL.		10' O.C.			
18	4	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	7 GAL.		3' O.C. PLANTING			
19	21	RUBUS LOROPETALUM	CHINESE FRINGE FLOWER	7 GAL.		3' O.C. PLANTING			
20	1	PYRACANTHA	PYRACANTHA RED FIRETHORN	7 GAL.		3' O.C. PLANTING			
21	50	MYRTICA CERIFERA	WAX MYRTLE	7 GAL.		3' O.C. PLANTING			
RAIN GARDEN									
22	40	IRIS SIBIRICA	BLUE KING IRIS	3.5" POT		1' O.C.			
23	17	HEMEROCALLIS HYBRIDA	STELLA D'ORO	1 GAL.		3' O.C.			

REVISIONS	DATE
ADDRESS TRC COMMENTS	8-14-18
PARKING LOT REVISIONS	9-11-18

HTC
 Howard T. Capps & Associates, Inc.
 Land Planning Landscape Architecture
 4018 Oleander Drive, Suite 202
 Wilmington, NC 28403
 Phone: (910) 384-1088



NOTE TO CONTRACTOR:
 The quantities shown on the Plant List are provided as a convenience to the contractor. In the event there is a difference in quantity between the plant quantities in the plant list and plant quantities on the plan, the contractor shall use the quantity shown on the plan. The contractor shall notify the landscape architect of any quantity difference.
 SOURCE FOR PINK MULHY AND DWARF FOUNTAIN GRASS BAKER ENVIRONMENTAL NURSERY AT 1-866-814-9118
SEEDING TO MATCH EXISTING LAWN
 IN AREAS CALLING FOR NEW PLANT BEDS CONTRACTOR TO REMOVE EXISTING LAWN AREA. FOLLOWING PLANTING OF TREES AND SHRUBS ADD 3" OF PINE NEEDLE MULCH.
NOTE TO CONTRACTOR: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.



NOTES:
 1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
 2. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

TREES REQUIRED:
 1.13 AC. SITE X 15 PERT ACRE = 17 TREES
 STREET YARD 8 TREES
 PARKING AREA 9 TREES
 BUFFER LANDSCAPE 17 TREES
 TOTAL PROVIDED 34 TREES

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN DRAINAGE
 Date: 10/5/2018 Permit #: 201803481
 Signed: *T. Capps* for RAC

Approved Construction Plan
 Name: *Cmc 10/3/2018*
 Planning: *W. Capps*
 Traffic: *W. Capps*
 Fire: *W. Capps*

LANDSCAPE PLAN
 SCALE: 1"=20'-0"
 20 10 0 20 40

Robert High Offices
 320 & 324 Greenville Ave
 Wilmington, North Carolina

DESIGNED: H. Capps
 DRAWN: R. Capps
 DATE: 7-30-2018
 SCALE: 1"=20'
 JOB NO.: 462-0718
 SHEET 1 OF 1

WRIGHTSVILLE AVENUE
 (60' PUBLIC R/W)

GREENVILLE AVENUE
 (44' PUBLIC R/W)

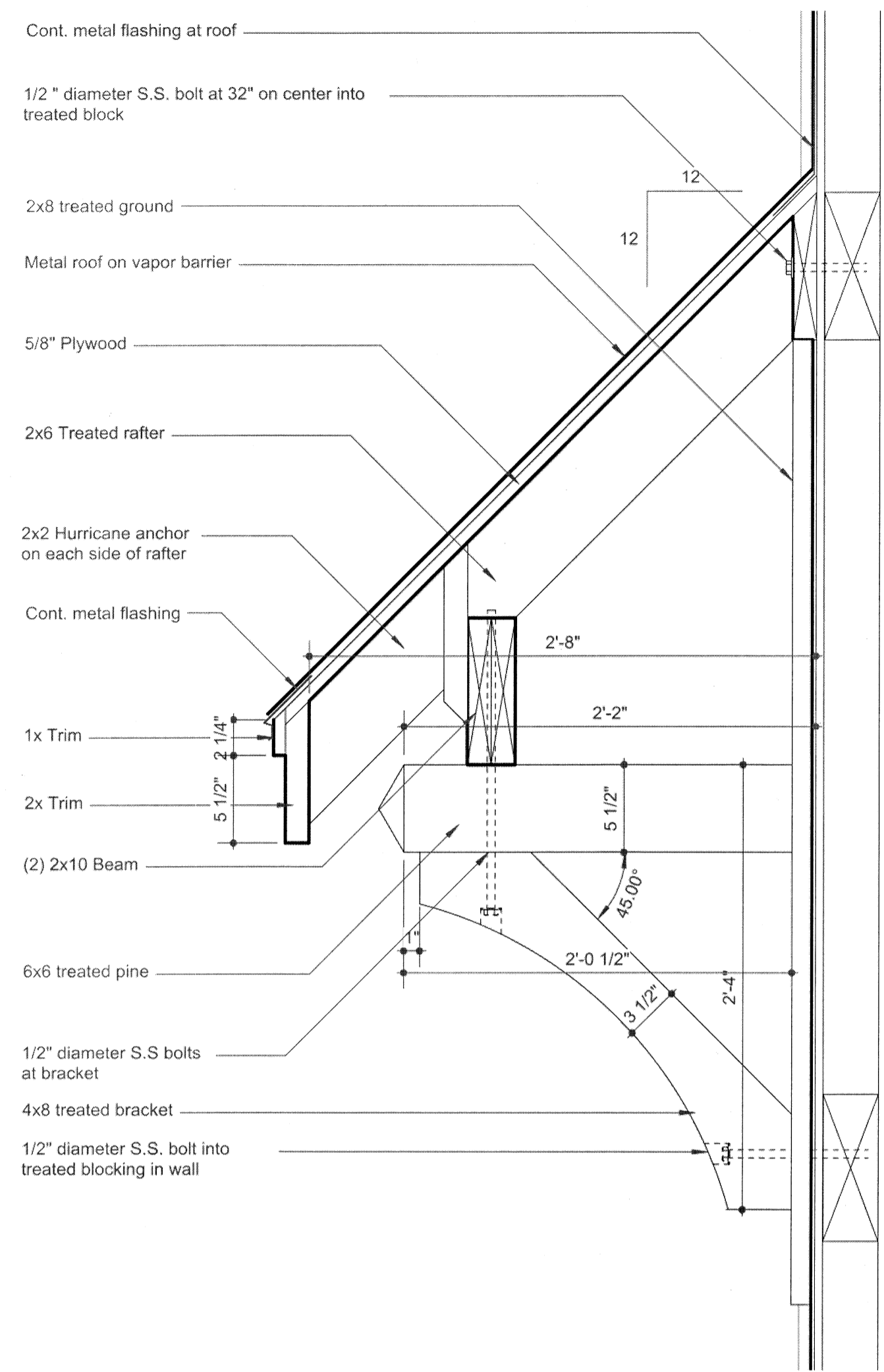
NOW OR FORMERLY
 RDS 1001 INVESTMENTS LLC
 BOOK 5472 PAGE 2813
 ZONING: R-15
 USE: RESIDENCE

NOW OR FORMERLY
 FLOYD INVESTMENTS, L.L.C.
 BOOK 4925 PAGE 34
 ZONING: R-15
 USE: RESIDENCE

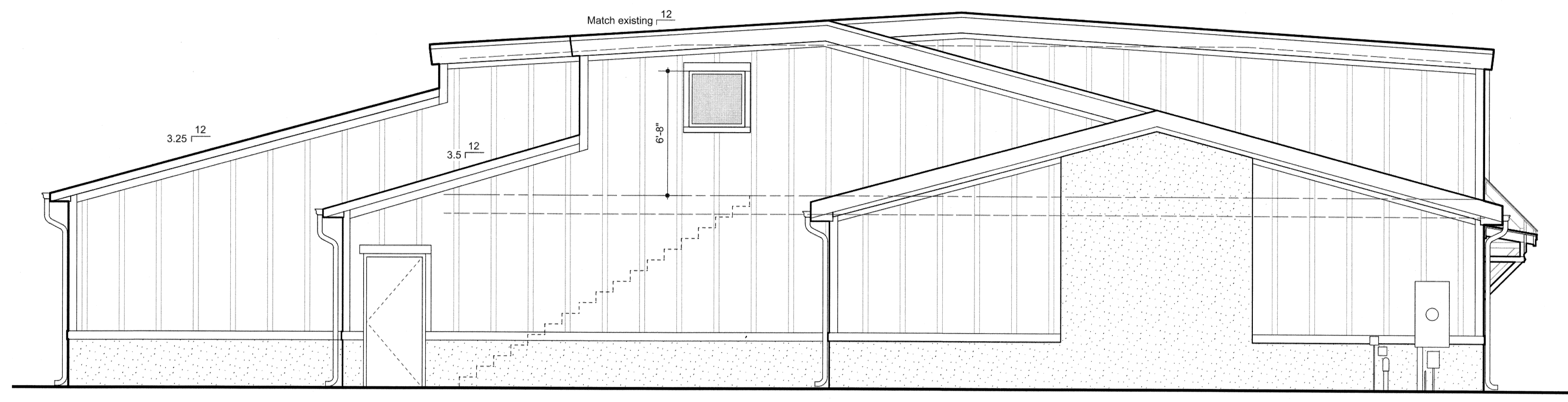
NOW OR FORMERLY
 FLOYD INVESTMENTS, L.L.C.
 BOOK 4924 PAGE 558
 ZONE: CB
 USE: BOAT SERVICE

NOW OR FORMERLY
 MATTHEW CHARLES SMITH
 BOOK 5844 PAGE 1221
 ZONING: R-15
 USE: RESIDENCE

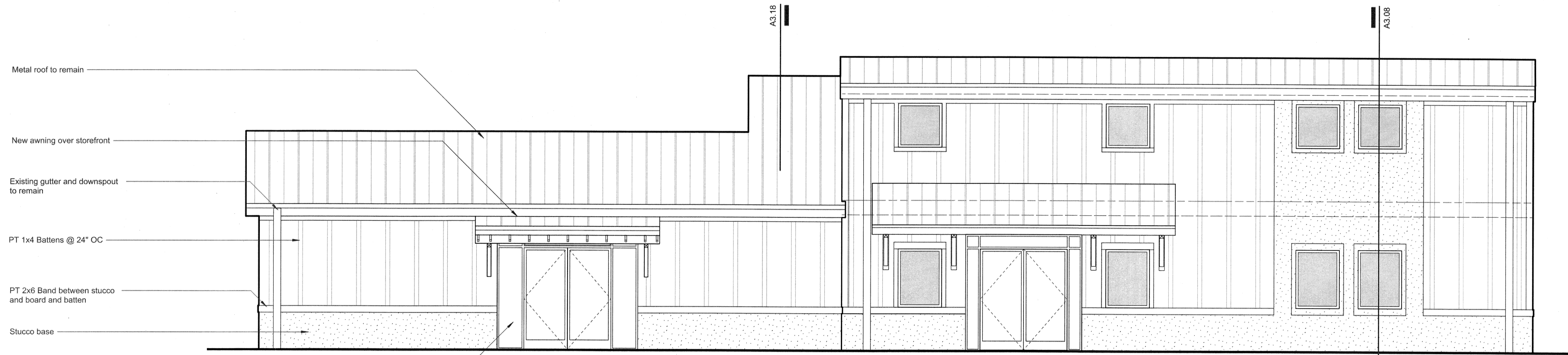
Revised 9/11/18
SEAL
 C-97
SEAL
 289



ROOF/ BRACKET DETAIL
 A2.01 1 1/2"



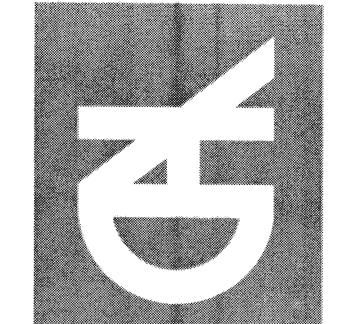
WEST ELEVATION
 A2.02 1/4"



SOUTH ELEVATION
 A2.08 1/4"

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 8/15/18 Permit #: 2018034
 Signed: [Signature]

Approved Construction Plan
 Name: YMC Date: 8-15-2018
 Planning: YMC
 Public Utilities: [Signature] 8-15-18
 Traffic: [Signature] 8-15-18
 Fire: [Signature] 8-16-18



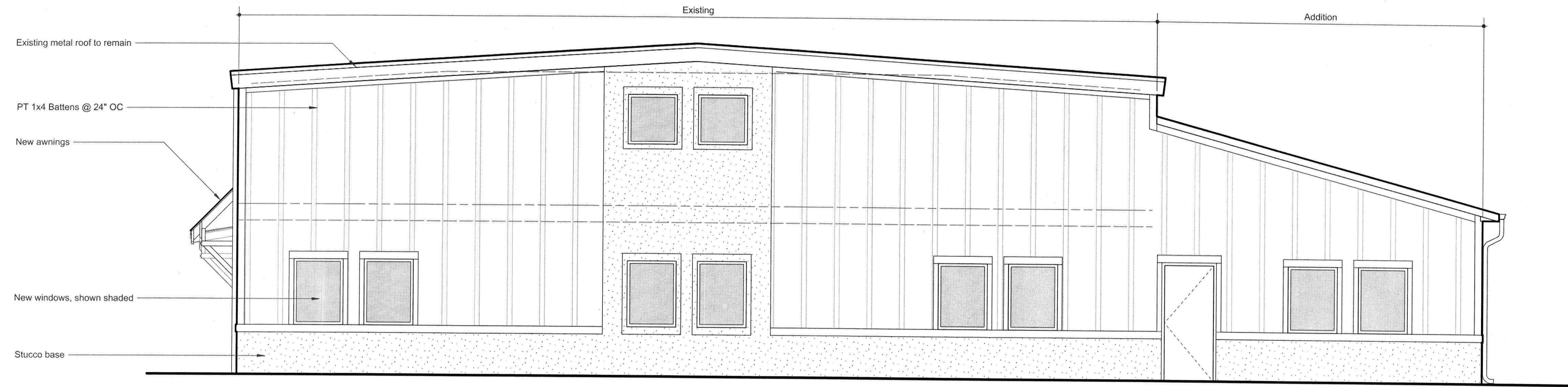
COTHAN HARRIS ARCHITECTURE
 5725 OLEANDER DRIVE, STE. 1
 WILMINGTON, NC 28403
 910.793.3433



ROBERT HIGH DEVELOPMENT OFFICES
 324 GREENVILLE AVENUE
 WILMINGTON, NC

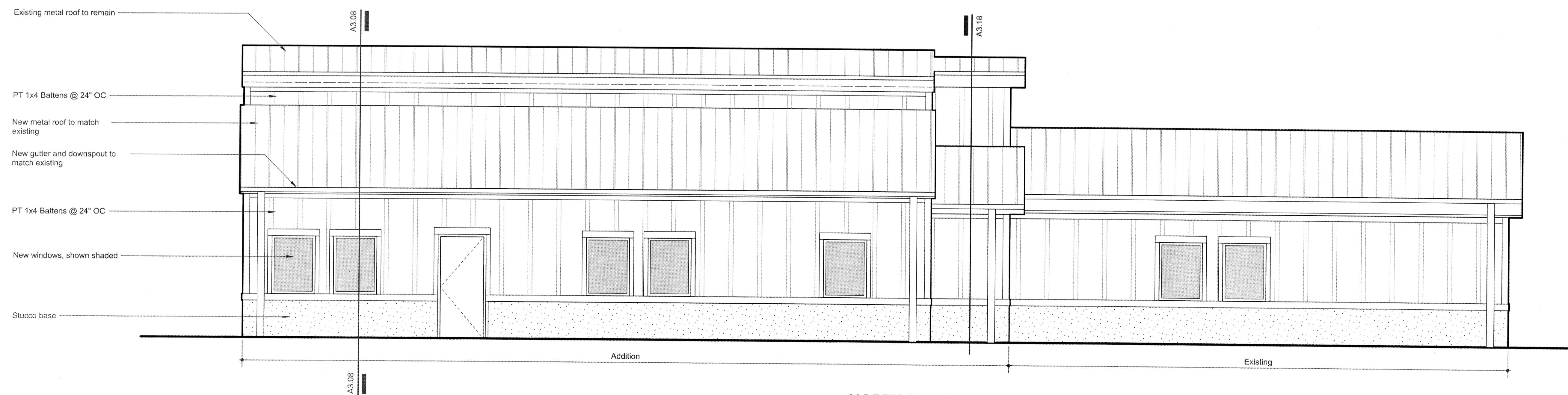
ELEVATIONS
 PERMIT DRAWINGS
 DECEMBER 1, 2017

A2.0
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EAST ELEVATION

A2.12 1/4"

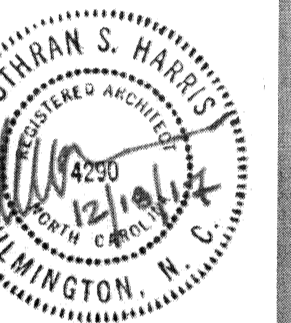


NORTH ELEVATION

A2.18 1/4"

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 8/15/18 Permit: 2018034
 Signed: *[Signature]*

Approved Construction Plan
 Name: UNC Date: 8-15-2018
 Planning: UNC 8-15-2018
 Public Utilities: [Signature] 8-15-18
 Traffic: [Signature] 8-15-18
 Fire: [Signature] 8-16-18





No architectural changes proposed to rear building.



No architectural changes proposed to front building except the addition of streetyard landscaping.

RHP Management Offices



Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

	Name	Date
Planning	UNC	8-15-2018
Public Utilities		
Traffic	W. Spivey	8-15-18
Fire		